

DEVELOPMENT REVIEW BOARD REPORT



MEETING DATE: November 17, 2005

ITEM NO. 3

CASE NUMBER/ PROJECT NAME	28-DR-2000#4 Portales Residential		
LOCATION	5000 N. Portales Place		
REQUEST	Request approval of modification to elevations and site plan approved in Case 28-DR-2000#3.		
OWNER	Portales Place Property LLC 602-510-3329	ENGINEER	DEI Professional Services LLC 602-954-0038
ARCHITECT/ DESIGNER	V V G Associates LLC 602-716-5611	APPLICANT/ COORDINATOR	Brian Agersea Grace Communities LLC 602-469-5789
BACKGROUND	<p>Zoning. The site is zoned D/RCO 2 PBD DO (Downtown Regional Commercial Office Type 2 Development Standards Planned Block Development Downtown Overlay).</p> <p>Context. The site is located on the south side of Chaparral Road, north of Goldwater Boulevard, and west of Scottsdale Road at the northwest corner of the Portales Master Planned Development.</p> <p>Adjacent Uses:</p> <ul style="list-style-type: none">• North: Single-family residential; zoned R1-7.• South: Unimproved, approved for condominiums, office, and retail use; zoned D/RCO-2 PBD DO.• East: Under construction for office use; zoned D/RCO-2 PBD DO.• West: Single-family residential; zoned R1-7 and R1-10.		
APPLICANT'S PROPOSAL	<p>Applicant's Request. Request approval of a modified site plan and elevations for a multi-level (2, 3, and 5 story) 142 unit multi-family residential development consisting of three residential buildings, a one-story clubhouse, and a one-story fitness facility on 9.7 acres.</p> <p>The previous proposed site plan included 140 units in 4 separate (3- and 5-story) buildings, and six 2-story duplex units. The 2-story units were located along the west and north perimeter of the site, and the 3- and 5-story buildings were on the central, south, and east portion of the site.</p>		

The elevation design of the buildings is consistent with the 3- and 5-story buildings of the previous approval. The materials, colors, and plant palette are also consistent with the previous proposal.

Development Information:

- Existing Use: Unimproved
- Proposed Use: Multi-family residential
- Parcel Size: 9.7 Acres
- Building Height Allowed: 65 Feet
- Building Height Proposed: 65 Feet
- Parking Required: 212 Spaces
- Parking Provided: 322 Spaces in garage/7 on-site
- Open Space Required: 101,408 Square Feet
- Open Space Provided: 144,225 Square Feet
- Number of Units: 142 Units
- Density: 13 Units per acre

DISCUSSION

The site plan shows the three multi-level buildings with their height stepping from five stories on the eastern side to two stories at the west side of the buildings, in conformance with zoning height setback requirements. Two, one-story buildings are shown on the western side of the site and these are the clubhouse and fitness buildings. These buildings are oriented so that they provide a buffer between the neighboring single-family residences to the west and the outdoor activity areas to the east. A small pool and outdoor grassy area at the northwest side of the site are not buffered by buildings but are set about 10 feet lower in elevation compared to the adjacent single-family residential development.

The landscape plan proposes a plant palette consisting of trees, shrubs, and accent materials. These plants are placed strategically to provide buffering towards major streets and the adjacent existing single-family residential neighborhoods.

The residential building elevations have tower elements only on the east ends' 5-story height. The remaining buildings have a geometric shape with flat roofs. Roof top gardens are proposed on the tops of the roofs. The amenity buildings mirror the geometric flat elements of the larger buildings and are accentuated with open patios. The site topography slopes from north and northwest to the southwest. At the northwest corner of the property the subject site is approximately 10 feet below the adjacent residential property to the west, and the site gradually rises to meet the adjacent grade at its far southwest corner. Thus the proposed buildings finished floor is at a lower elevation compared to the adjacent single-family residences and therefore the impact of the building height is reduced.

The proposed building materials and colors include: brown and tan concrete masonry, tan smooth stucco, dark brown standing seam metal roof system, dark brown metal patio rails, and dark gray colored metal doors.

Scottsdale Development Review Board Report
Case No. 28-DR-2000#4

STAFF

RECOMMENDATION

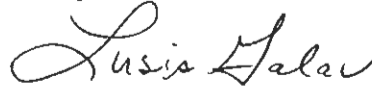
Staff recommends approval, subject to the attached stipulations.

STAFF CONTACT(S)

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Project Coordination Manager
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E-mail: kwauwie@ScottsdaleAZ.gov

APPROVED BY

Kira Wauwie
Report Author



Lusia Galav, AICP
Current Planning Director
Phone: 480-312-2506
E-mail: lgalav@scottsdaleAZ.gov

ATTACHMENTS

1. Applicant's Narrative
2. Context Aerial
- 2A. Aerial Close-Up
3. Zoning Map
4. Site Plan
5. Landscape Plan
6. Elevations
7. Ramada, Wall & Footbridge: Conceptual Sections and Elevations
- A. Fire Ordinance Requirements
- B. Stipulations/Zoning Ordinance Requirements

09/12/05

PORTALES PLACE

Project Narrative

12 SEP 05

Following the approval of the Design Review Board submittal for the project in March of 2005 of some changes required by the previous property owner, the developer and their sales team began preliminary sales input and coordination with the City. After several months of review and comment from the general public, it became apparent demand for the existing 2 story duplex casita units contemplated was very low. Additionally, the design team attended meetings with the traffic department to coordinate with the revised traffic calming requirements for Chaparral Road resulting in further revisions to the site circulation.

Following some initial studies on how to revise the casita units, the development team and the owner's agreed to begin a holistic review of the site. The review included an analysis of the changes to the residential site, site circulation/traffic calming mitigation, amenity features, landscaping, arrival/departure sequence, and if the changes could lessen the impact on the surrounding neighborhoods.

After several months of work by the entire team, a plan was developed that improved many aspects of the existing design of the site and incorporated the elimination of the casita units altogether. Due to the approach taken, the revisions mainly affected the Northern and Western portions of the site and maintained most of the development adjacent to the commercial project as they were approved in March. Specifically, the changes include:

1. Integration of the revised Chaparral Road traffic calming intersection.
2. Elimination of automobile traffic adjacent to the residential neighborhoods to the West of the property.
3. Increased open space/landscaping throughout the site.
4. Increased the building setbacks from the residential neighborhoods to the West of the property.
5. All heights remain at or below COS Development Standards.

Based on what the team believed were major improvements to the existing site, we met with City staff to review the improvements. After a review and discussion of the revisions, City Staff agreed with the development team that the changes were beneficial and approves of the revised site plan.

Additionally, they requested we submit a revised DRB Package to delineate the revisions to the plans that had previously been approved by the Board. Other than the site plan changes, all other items (materials, colors) previously approved by the Board remain as submitted and approved.



Portales Residential

28-DR-2000#4

ATTACHMENT #2



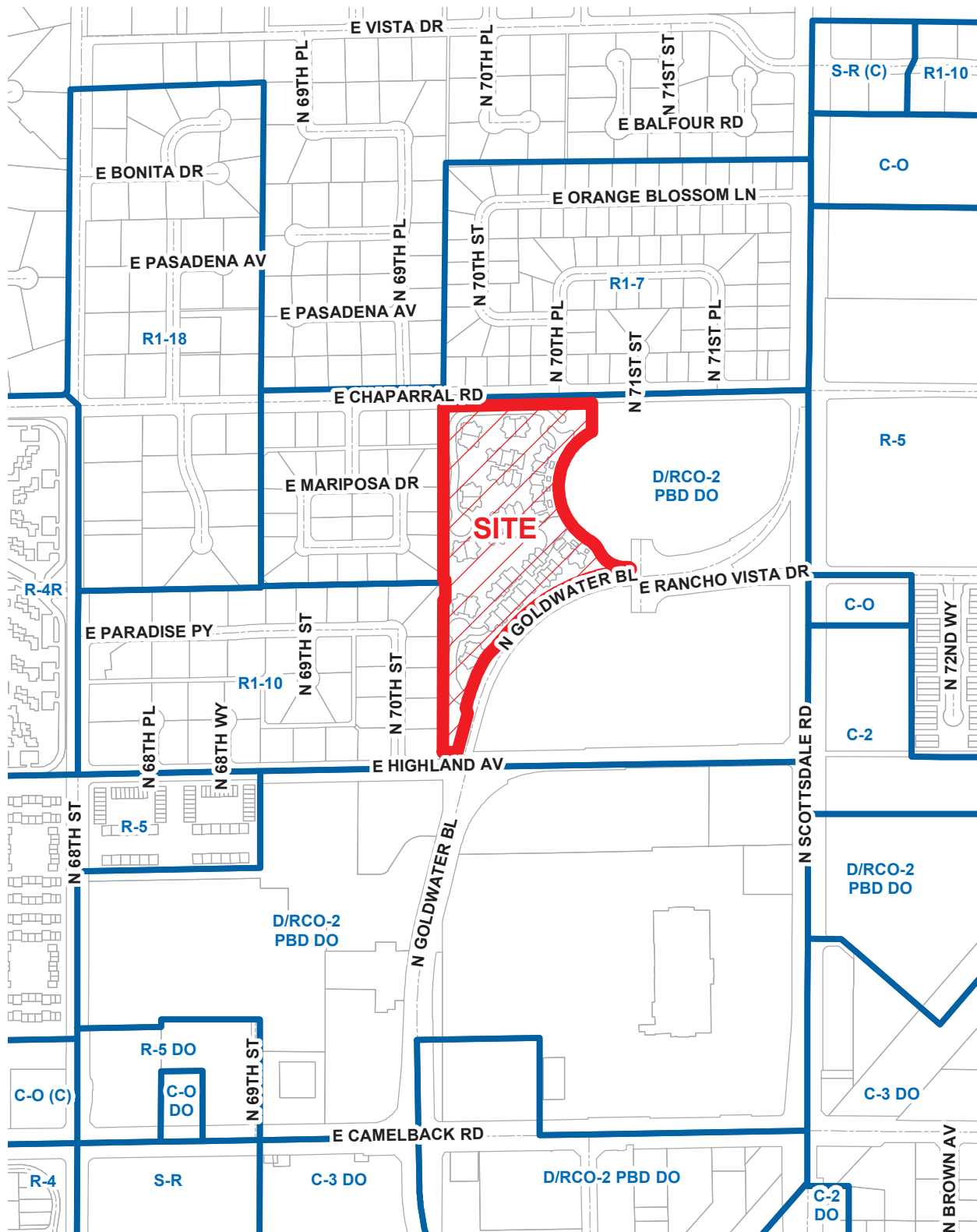
Q.S.
18-44

G.I.S. ORTHOPHOTO 2003

Portales Residential

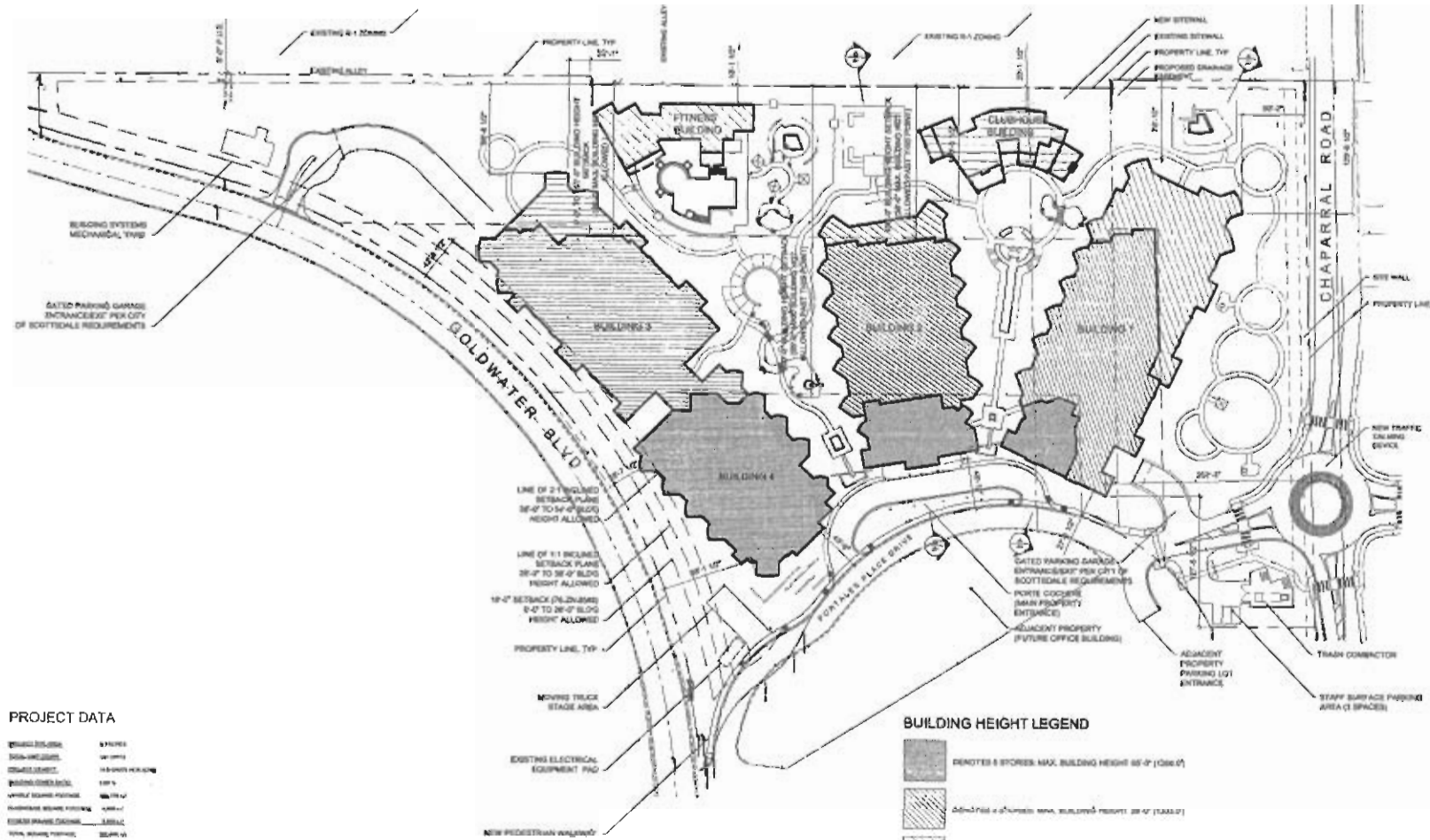
28-DR-2000#4

ATTACHMENT #2A



28-DR-2000#4

ATTACHMENT #3



28-DR-2000#4
10/27/05

PRELIMINARY NOT FOR CONSTRUCTION

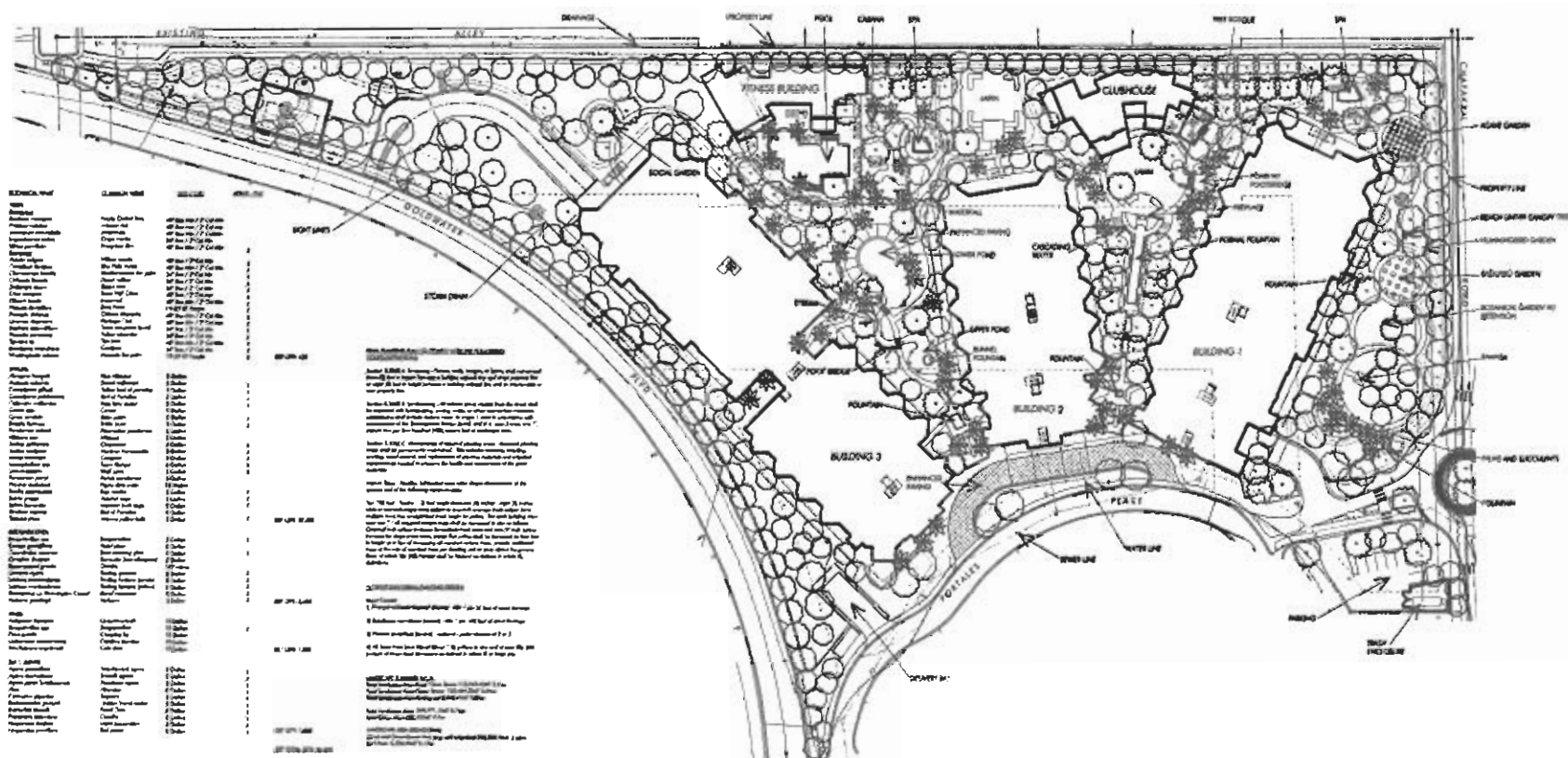
28-DR-2000#4

A1.0

NEW CONSTRUCTION
5000 Portales Place
Scottsdale, Arizona
SITE PLAN

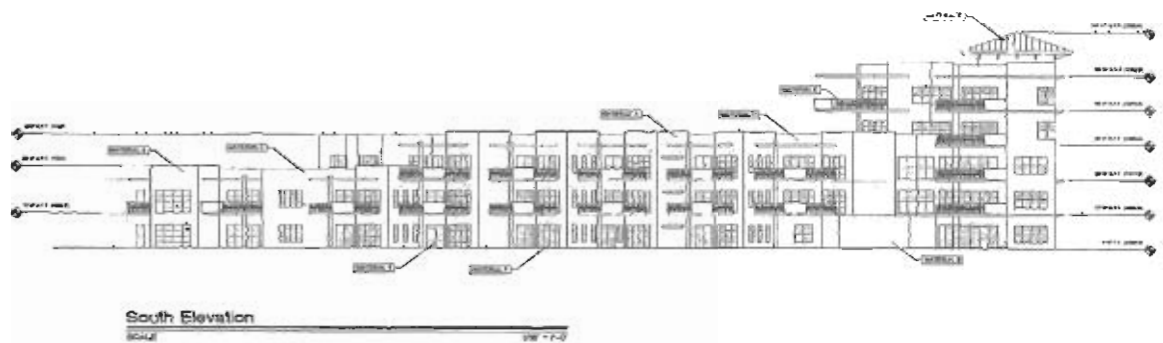
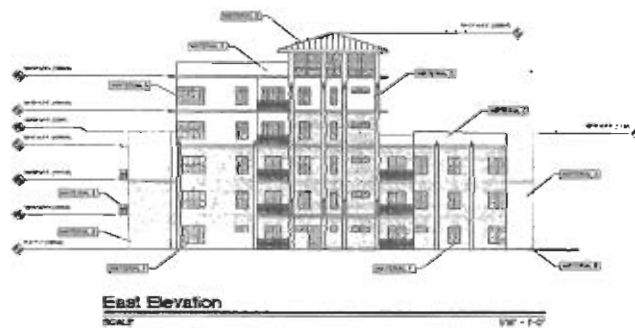
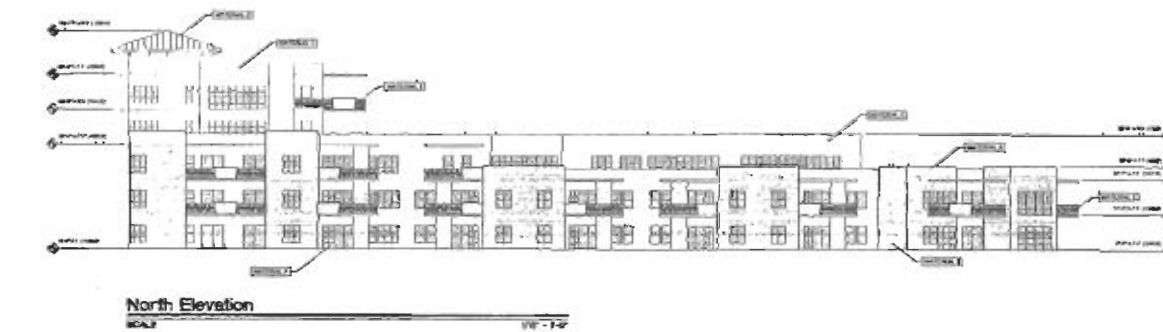
WVG
ARCHITECTURE + PLANNING
10000 N. TAPSCOTT AVE., SUITE 100
SCOTTSDALE, AZ 85254
(480) 344-1111
www.wvg.com

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28-DR-2000#4
10/25/05





- MATERIALS**
- 1. CONCRETE: ALL CONCRETE SHALL BE 4000 PSI STRENGTH, UNLESS OTHERWISE NOTED.
 - 2. EXTERIOR WALLS: EXTERIOR WALLS SHALL BE CONCRETE BLOCK, UNLESS OTHERWISE NOTED.
 - 3. ROOFING: ROOFING SHALL BE 2" THICK POLYURETHANE INSULATION, 1/2" THICK GYPSUM BOARD, AND 1/2" THICK ASPHALT/FLY ASH SHingles.
 - 4. FLOORING: FLOORING SHALL BE 1/2" THICK POLYURETHANE INSULATION, 1/2" THICK GYPSUM BOARD, AND 1/2" THICK ASPHALT/FLY ASH SHingles.
 - 5. PAINT: PAINT SHALL BE 100% ACRYLIC EMULSION, UNLESS OTHERWISE NOTED.
 - 6. GLAZING: GLAZING SHALL BE 1/2" THICK CLEAR GLASS, UNLESS OTHERWISE NOTED.



28-DR-2000#4
10/27/05

PRELIMINARY NOT FOR CONSTRUCTION

28-DR-2000#3

REVISIONS

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VV8
Architecture + Planning
100 South Main Street, Suite 100
Phoenix, Arizona 85004
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NEW CONSTRUCTION
5000 Portales Place
Scottsdale, Arizona
ELEVATIONS - BLDG 1

28-DR-2000#3
A5.10

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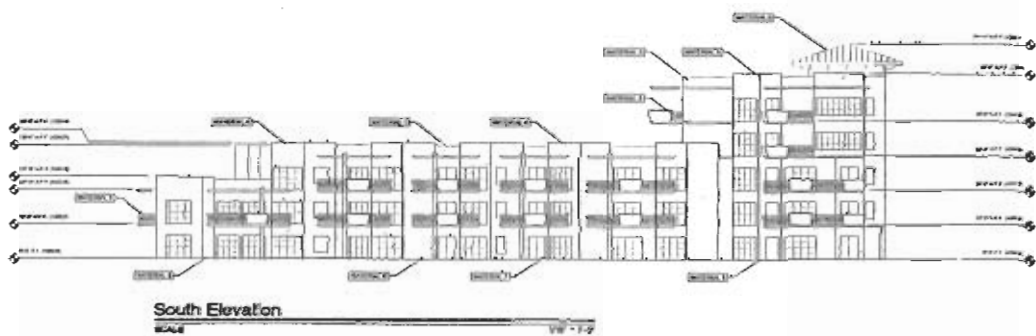
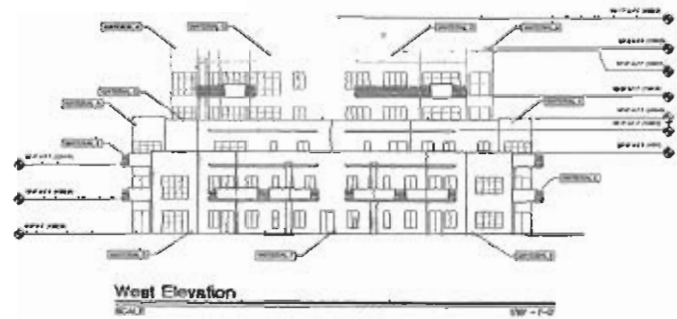
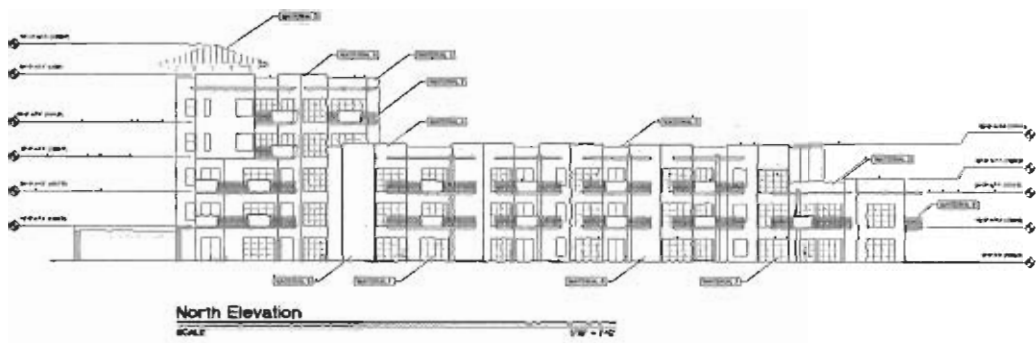
WV
Architectural & Planning
1000 North Central Ave., Suite 100
Phoenix, AZ 85004
Tel: 602.441.1111
Fax: 602.441.1112
www.wvva.com



NEW CONSTRUCTION:
5000 Portales Place
Scottsdale, Arizona
ELEVATIONS - BLDG 2

28-DR-2000#3

A5.2.0



MATERIALS

- CONCRETE: 4" MINIMUM THICKNESS UNLESS OTHERWISE NOTED BY ARCHITECT
- BRICK: 8" MODULAR BRICK, 1/2" MORTAR JOINTS
- GLASS: 1/2" CLEAR GLASS, 1/4" GLAZING BEZEL, 1/4" GLAZING GASKET, 1/4" GLAZING CHANNEL
- DOOR: 1 3/4" SOLID CORE, 1 3/4" GLAZING BEZEL, 1 3/4" GLAZING GASKET, 1 3/4" GLAZING CHANNEL
- WALL: 8" CMU, 1/2" MORTAR JOINTS, 1/2" GLAZING BEZEL, 1/2" GLAZING GASKET, 1/2" GLAZING CHANNEL
- ROOF: 4" POLYSTYRENE INSULATION, 1" ASPHALT/FLY ASH CONCRETE, 1" 20 GA. GALVALUMED STEEL DECK
- CEILING: 5/8" Gypsum Board, 1/2" Joints, 1/2" Sealant
- FLOOR: 4" POLYSTYRENE INSULATION, 1" ASPHALT/FLY ASH CONCRETE, 1" 20 GA. GALVALUMED STEEL DECK

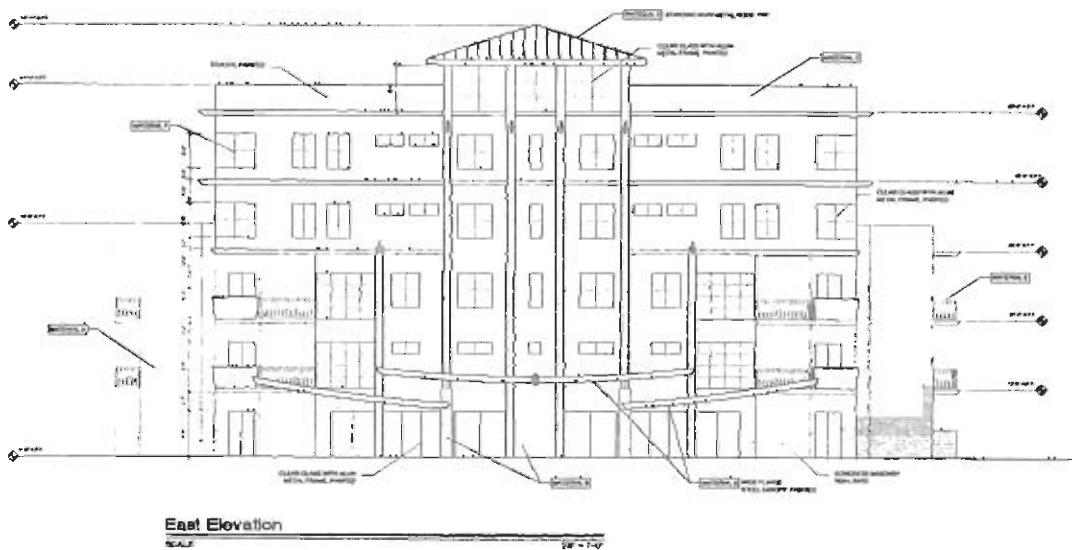
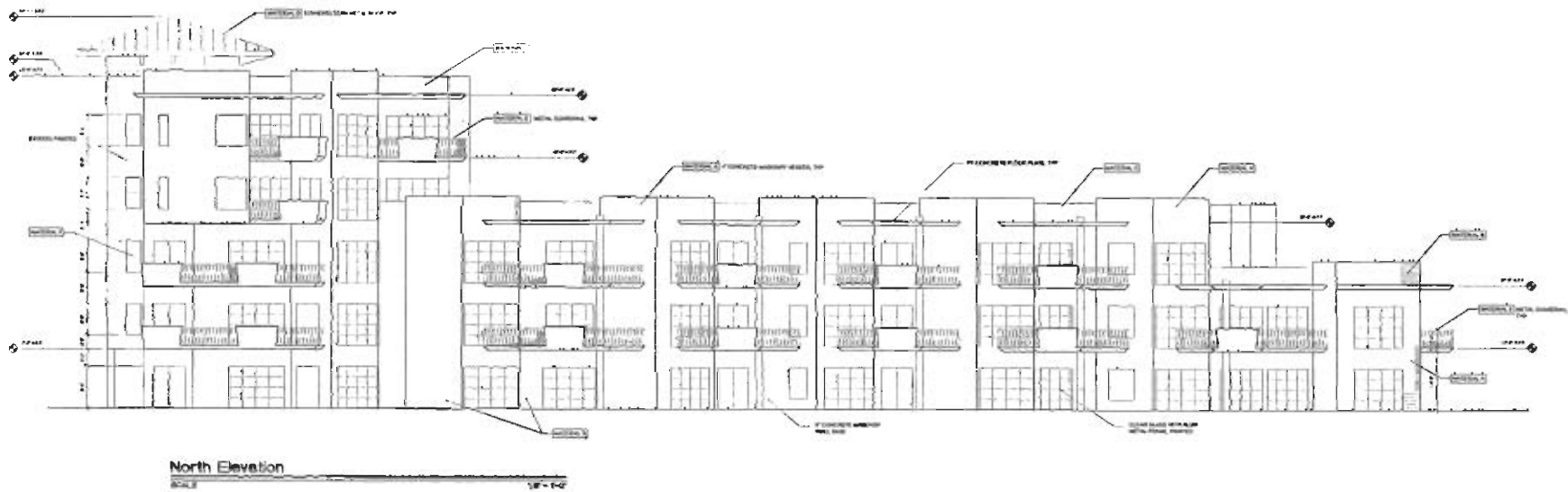
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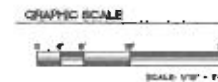
SCALE: 1/8" = 1'-0"

PRELIMINARY NOT FOR CONSTRUCTION

28-DR-2000#4
10/27/05



MATERIALS	
MATERIAL 1	EXTERIOR CONCRETE MASONRY WALLS OF CONCRETE BLOCKS Finishes: Smooth, Single-Unit, Gray
MATERIAL 2	EXTERIOR CONCRETE MASONRY WALLS OF CONCRETE BLOCKS Finishes: Smooth, Single-Unit, Gray
MATERIAL 3	EXTERIOR CONCRETE MASONRY WALLS OF CONCRETE BLOCKS Finishes: Smooth, Single-Unit, Gray
MATERIAL 4	EXTERIOR CONCRETE MASONRY WALLS OF CONCRETE BLOCKS Finishes: Smooth, Single-Unit, Gray
MATERIAL 5	EXTERIOR CONCRETE MASONRY WALLS OF CONCRETE BLOCKS Finishes: Smooth, Single-Unit, Gray
MATERIAL 6	EXTERIOR CONCRETE MASONRY WALLS OF CONCRETE BLOCKS Finishes: Smooth, Single-Unit, Gray
MATERIAL 7	EXTERIOR CONCRETE MASONRY WALLS OF CONCRETE BLOCKS Finishes: Smooth, Single-Unit, Gray



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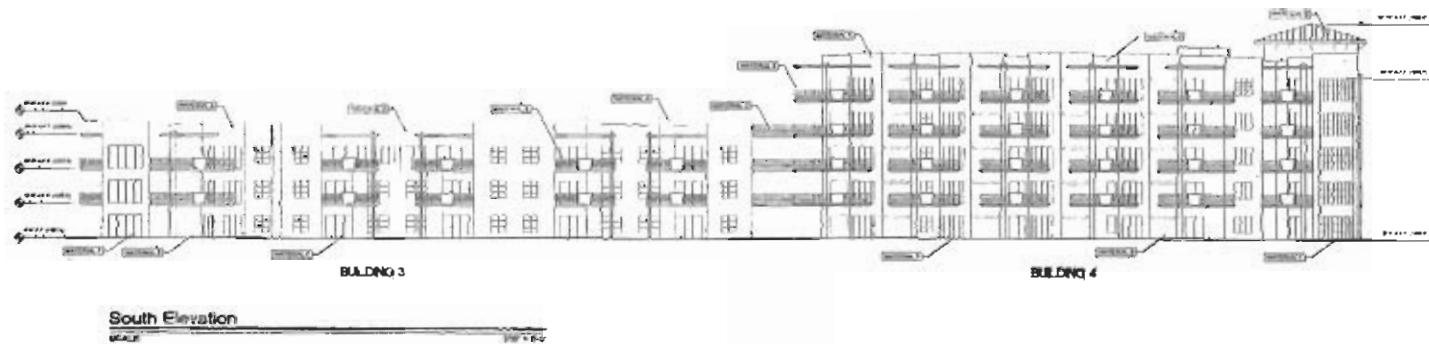
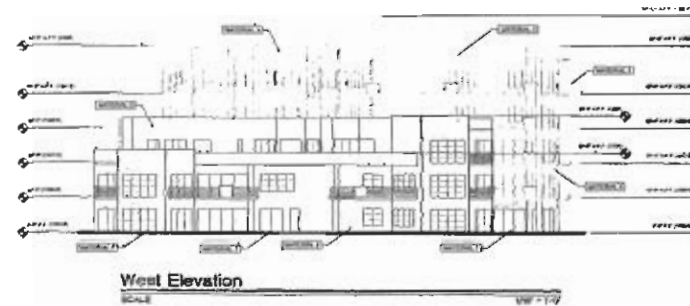
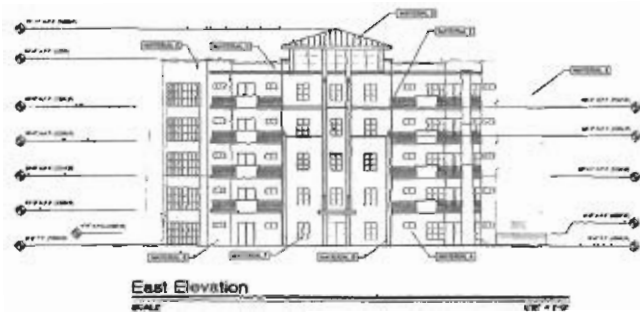
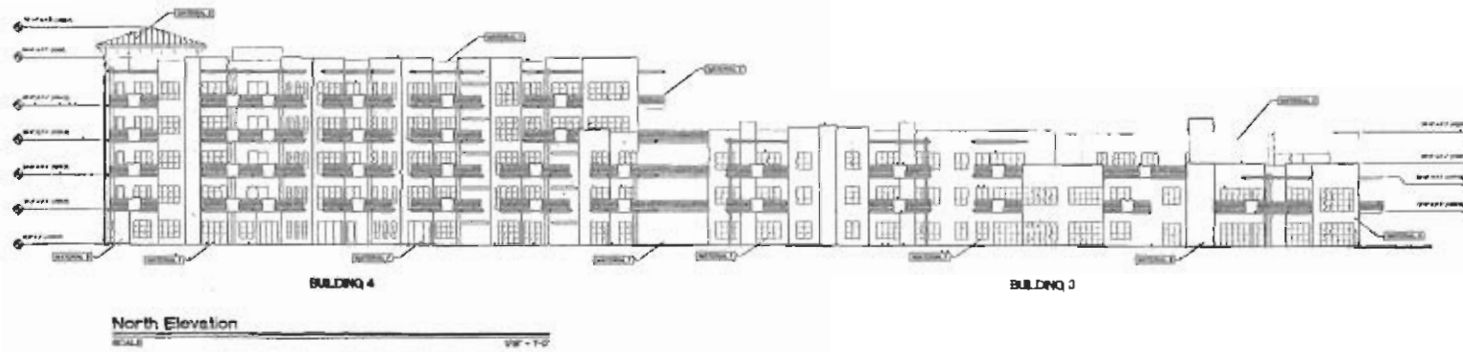


NEW CONSTRUCTION
5000 Portales Place
Scottsdale, Arizona
ELEVATIONS - BLDG 2

28-DR-2000#3
A5.21

PRELIMINARY NOT FOR CONSTRUCTION

28-DR-2000#4
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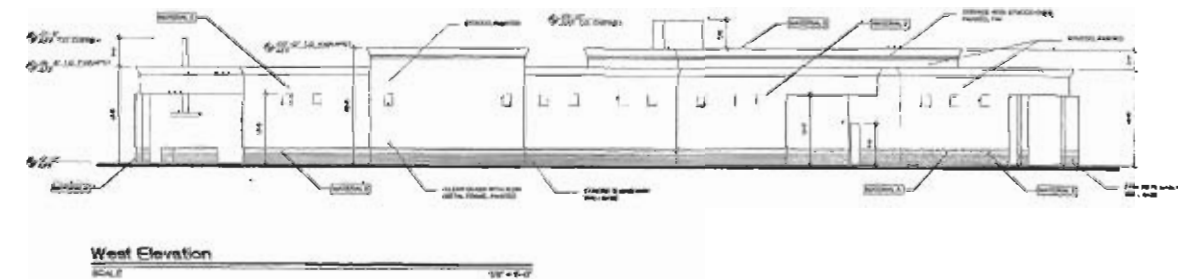
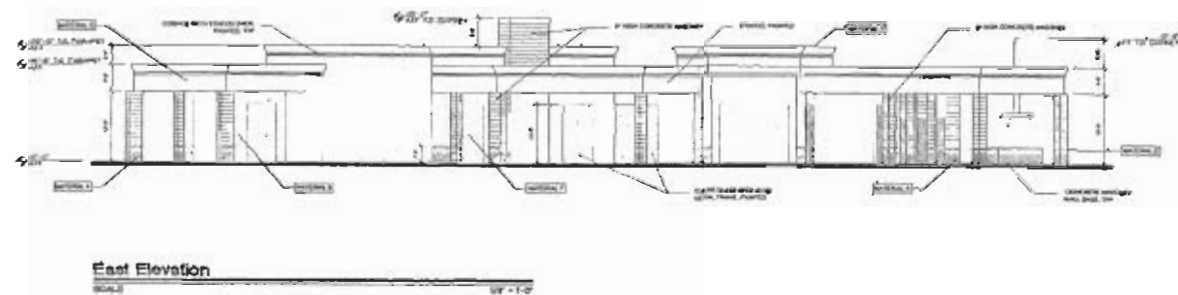
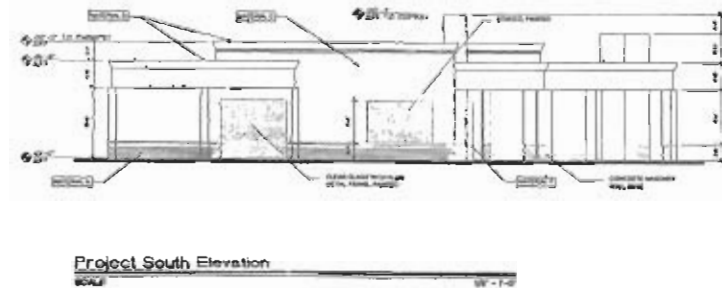
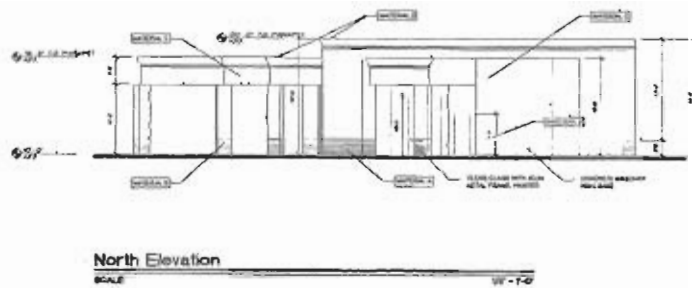
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28-DR-2000#4
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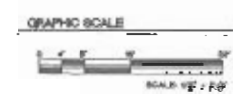
NEW CONSTRUCTION
5000 Portales Place
Scottsdale, Arizona
ELEVATIONS - BLDG 3 + BLDG 4

28-DR-2000#3
A53.0



MATERIALS

SECTION 1	Concrete
SECTION 2	Concrete
SECTION 3	Concrete
SECTION 4	Concrete
SECTION 5	Concrete
SECTION 6	Concrete



PRELIMINARY NOT FOR CONSTRUCTION

28-DR-2000#4
10/27/05

REVISIONS

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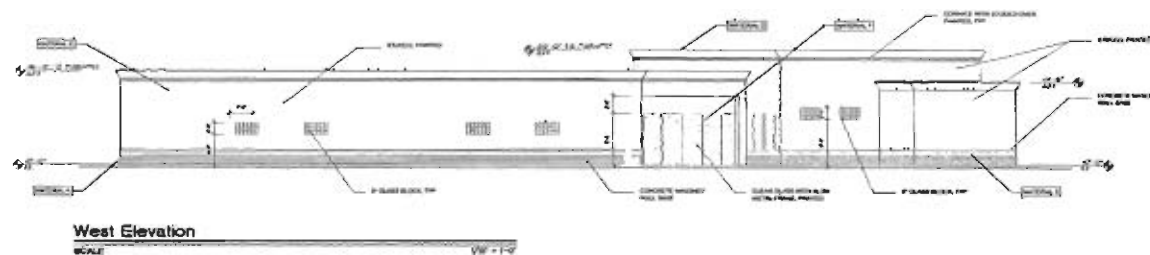
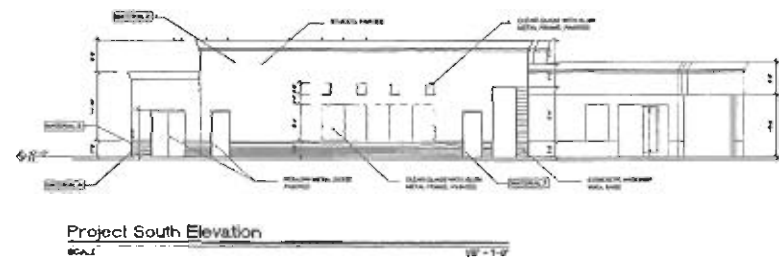
NEW CONSTRUCTION:
5000 Portales Place
SAN ANTONIO, TEXAS
ELEVATIONS - BLDG 4 - CLUBHOUSE

28-DR-2000#3
A5.4.0

VV&S
Architecture + Planning
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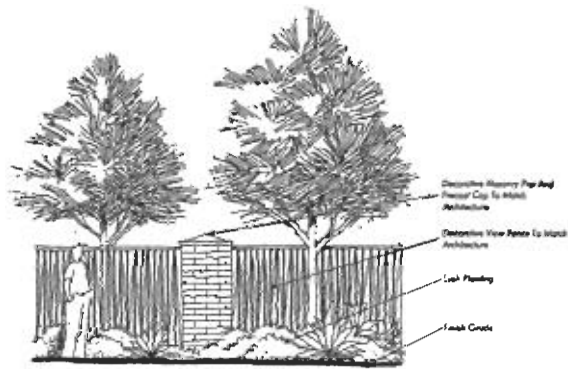
A5.5.0



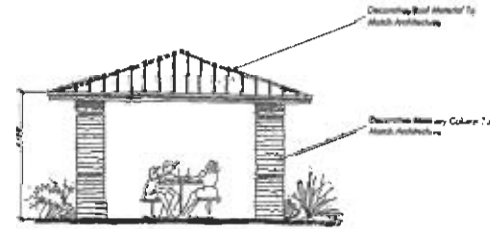
GRAPHIC SCALE

PRELIMINARY NOT FOR CONSTRUCTION

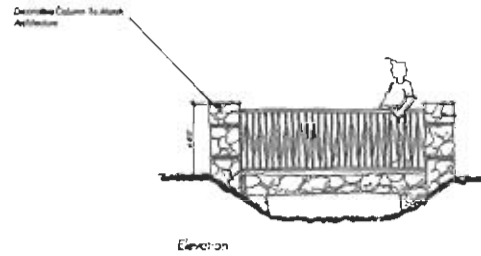
28-DR-2000#4
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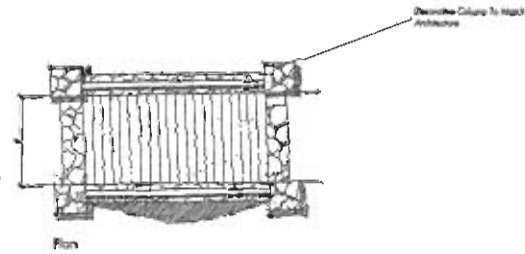
Conceptual Wall Detail 1/2"



Conceptual Ramada 3/8"



Conceptual Footbridge 1/2"



Portales Place
5000 N. Portales Place
Scottsdale, Arizona

FIRE ORDINANCE REQUIREMENTS

(INCORPORATE INTO BUILDING PLANS AS GENERAL NOTE BLOCK - USE ONLY THE DESIGNATED STIPULATIONS)

- | | |
|---|---|
| <p><input checked="" type="checkbox"/> 1. PREMISES IDENTIFICATION TO BE LEGIBLE FROM STREET OR DRIVE & MUST BE ON ALL PLANS.</p> <p><input checked="" type="checkbox"/> 2. FIRE LANES & EMERGENCY ACCESS SHALL BE PROVIDED & MARKED IN COMPLIANCE WITH CITY ORDINANCE & IFC AT THE FOLLOWING LOCATIONS.</p> <p><u>AS SHOWN</u></p> <p>_____</p> <p>_____</p> <p><input checked="" type="checkbox"/> 3. IT IS THE DEVELOPERS RESPONSIBILITY TO DETERMINE ULTIMATE COMPLIANCE WITH THE FAIR HOUSING ADMENDMENTS ACT & AMERICANS WITH DISABILITIES ACT & INCORPORATE SAME INTO THEIR BUILDING PLANS.</p> <p><input checked="" type="checkbox"/> 4. SUBMIT PLANS & SPECS FOR SUPERVISED AUTOMATIC EXTINGUISHING SYSTEM FOR ALL COOKING APPLIANCES, HOOD PLENUMS & EXHAUST DUCTS.</p> <p><input checked="" type="checkbox"/> 5. PROVIDE A KNOX ACCESS SYSTEM:</p> <p style="margin-left: 20px;"><input checked="" type="checkbox"/> A. KNOX BOX</p> <p style="margin-left: 20px;"><input type="checkbox"/> B. PADLOCK</p> <p style="margin-left: 20px;"><input type="checkbox"/> C. KNOX OVERRIDE & PRE-EMPTION STROBE SWITCH FOR AUTOMATIC GATES.</p> <p><input checked="" type="checkbox"/> 6. INSTALL AN AS BUILT DRAWING CABINET ADJACENT TO THE FIRE SPRINKLER RISER. IT SHALL BE OF ADEQUATE SIZE TO ACCOMMODATE BOTH THE FIRE SPRINKLER & FIRE ALARM DRAWINGS. THE CABINET SHALL BE PROVIDED WITH A LOCK & KEYED TO MATCH THE FIRE ALARM CONTROL PANEL & SUPERVISED BY THE FACP IF APPLICABLE.</p> <p><input checked="" type="checkbox"/> 7. SUBMIT PLANS FOR A CLASS B FIRE ALARM SYSTEM PER SCOTTSDALE REVISED CODES.</p> <p><input type="checkbox"/> 8. PROVIDE INTERIOR TENANT NOTIFICATION WHEN OFF-SITE MONITORING IS REQUIRED.
 <small>(SEE FIRE ALARM INTERPRETATIONS FOR CLARIFICATION)</small></p> <p><input checked="" type="checkbox"/> 9. ADD 2-1/2" WET FIRE HOSE VALVES (NSHT) IF FLOOR AREA EXCEEDS 10,000 SQ. FT. PER FLOOR LEVEL AND/OR IF FIRE DEPT. ACCESS IS LIMITED TO LESS THAN 360°. <u>INTERIOR & EXTERIOR HOSE VALVES REQUIRED</u></p> <p><input checked="" type="checkbox"/> 10. BUILDINGS MAY BE SUBJECT TO INSTALLATION AND TESTING REQUIREMENTS FOR A PUBLIC SAFETY RADIO AMPLIFICATION SYSTEM.</p> | <p><input checked="" type="checkbox"/> 11. BACKFLOW PREVENTION WILL BE REQUIRED ON VERTICAL RISER FOR CLASS 1 & 2 FIRE SPRINKLER SYSTEMS PER SCOTTSDALE REVISED CODE.</p> <p><input checked="" type="checkbox"/> 12. PROVIDE ALL WEATHER ACCESS ROAD (MIN. 16') TO ALL BUILDINGS & HYDRANTS FROM PUBLIC WAY DURING CONSTRUCTION.</p> <p><input checked="" type="checkbox"/> 13. SEE APPROVED CIVILS FOR THE NUMBER OF FIRE HYDRANTS REQUIRED. DEVELOPER SHALL HAVE THE REQUIRED HYDRANTS INSTALLED & OPERABLE PRIOR TO THE FOOTING INSPECTION. HYDRANTS SHALL BE SPACED AT A MAXIMUM OF _____ AT _____ GPM. THE DEVELOPER SHALL MAKE THE C.O.S. APPROVED CIVIL WATER PLANS AVAILABLE TO THE FIRE SPRINKLER CONTRACTOR.</p> <p><input checked="" type="checkbox"/> 14. PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED. SEE SHEET(S) _____</p> <p><input checked="" type="checkbox"/> 15. EXIT & EMERGENCY LIGHTING SHALL COMPLY WITH THE C.O.S. ORDINANCE & THE IFC. SEE SHEETS _____</p> <p><input checked="" type="checkbox"/> 16. SUBMIT MSDS SHEETS & AGGREGATE QUANTITY FOR ALL HAZARDOUS MATERIALS INCLUDING FLAMMABLES, PESTICIDES, HERBICIDES, CORROSIVES, OXIDIZERS, ETC. A PERMIT IS REQUIRED FOR ANY AMOUNT OF HAZARDOUS MATERIALS STORED, DISPENSED, USED OR HANDLED. COMPLETE AN HMMP & SUBMIT WITH THE BUILDING PLANS.</p> <p><input checked="" type="checkbox"/> 17. FIRELINE, SPRINKLER & STANDPIPE SYSTEM SHALL BE FLUSHED & PRESSURE TESTED PER NFPA STANDARDS & SCOTTSDALE REVISED CODES.</p> <p><input checked="" type="checkbox"/> 18. FDC SIAMESE CONNECTIONS FOR SPRINKLERS AND/OR STANDPIPES WILL BE LOCATED PER ORDINANCE AND/OR AT AN APPROVED LOCATION. MINIMUM SIZE 2-1/2 x 2-1/2 x 4 (NSHT)</p> <p style="margin-left: 20px;"><input checked="" type="checkbox"/> 4' TO 8' BACK OF CURB; INDEP. WET LINE.</p> <p style="margin-left: 20px;"><input type="checkbox"/> WALL MOUNTED - 15' CLEAR OF OPENINGS.</p> <p><input checked="" type="checkbox"/> 19. ADEQUATE CLEARANCE SHALL BE PROVIDED AROUND FIRE RISER. DIMENSIONS FROM FACE OF PIPE SHALL MEASURE A MINIMUM OF 12" OFF THE BACK OF WALL, 18" ON EACH SIDE & 36" CLEAR IN FRONT WITH A FULL HEIGHT DOOR. THE FIRE LINE SHALL EXTEND A MAXIMUM OF 3' INTO THE BUILDING FROM INSIDE FACE OF WALL TO CENTER OF PIPE.</p> |
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20. ☒ **SPRINKLER SYSTEM SHALL BE INSTALLED TO COMPLY WITH MINIMUM NFPA CRITERIA 2002 EDITION & SCOTTSDALE REVISED CODES. SYSTEMS WITH 100 HEADS OR MORE SHALL HAVE OFF-SITE MONITORING. AFTER BUILDING PLAN REVIEW, INSTALLING CONTRACTOR SHALL SUBMIT (3) THREE COMPLETE SETS OF DRAWINGS & HYDRAULIC CALCULATIONS REVIEWED BY A MINIMUM NICET III DESIGN TECHNICIAN.**
- ☐ **A. MODIFIED NFPA 13-D SYSTEM WITH RESIDENTIAL QUICK RESPONSE SPRINKLER HEADS (2002 EDITION)**
- ☐ **B. MODIFIED NFPA 13R SYSTEM (2002 EDITION) WITH RESIDENTIAL QUICK RESPONSE SPRINKLER HEADS IN DWELLING UNITS & ATTIC AREAS FED FROM SEPARATE FIRELINE PER C.O.S. ORDINANCE & INTERPRETATIONS & APPLICATIONS. CALCULATE UP TO FOUR REMOTE HEADS & 900 SQ FT MIN. IN ATTIC.**
- ☒ **C. NFPA 13 2002 EDITION COMMERCIAL SYSTEM / DESIGN CRITERIA: HIGH RISE FOR ENTIRE SITE SEISMIC DESIGN CATEGORY SHALL BE DETERMINED BY STRUCTURAL ENGINEER.**
- ☐ **D. THE FIRE SPRINKLER SYSTEM DESIGN FOR WAREHOUSE / STORAGE OCCUPANCIES SHALL BE BASED ON THE FULL HEIGHT CAPACITY OF THE BUILDING PER SCOTTSDALE REVISED CODE. DENSITY CRITERIA:**
- ☐ **E. SPRINKLER DESIGN CRITERIA FOR UNSPECIFIED WAREHOUSE COMMODITIES: .45 OVER 3000 SQ. FT.**
- ☐ **F. THE PROJECT SPECIFICATIONS SHALL BE SUBMITTED WITH CONTRACT DRAWINGS.**
- ☒ **G. LACK OF FIRE DEPT. ACCESS REQUIRES SITE TO MEET HIGE RISE REQUIREMENTS, FIRE FIGHTER ELEVATORS WITH 6'X7' NOMINAL INTERIOR SIZE CAR, ALL DRIVEWAYS, PARKING AREAS, AND AREAS OVER UNDERGROUND PARKING SHALL BE DESIGNED TO A IMINIMUM 83,000 LBS. GVW.**

Submit three (3) complete sets of drawings submitted by installing contractor, after building plan review is complete. Please refer questions to Fire Dept. Plan Review, 312-7070, 312-7684, 312-7127, 312-2372.

Stipulations for Case: Portales Place Case 28-DR-2000#4

Unless otherwise stated, the applicant agrees to complete all requirements prior to final plan approval, to the satisfaction of Project Coordinator and the Final Plans staff.

PLANNING

APPLICABLE DOCUMENTS AND PLANS:

DRB Stipulations

1. Except as required by the City Code of Ordinances, Zoning Regulations, Subdivision Regulations, and the other stipulations herein, the site design and construction shall substantially conform to the following documents:
 - a. Architectural elements, including dimensions, materials, form, color, and texture, shall be constructed to be consistent with the building elevations submitted by VVG Architecture and Planning with a date provided on the plans by City Staff of 10/27/05
 - b. The location and configuration of all site improvements shall be constructed to be consistent with the site plan submitted by VVG Architecture and Planning with a date provided on the plans by City Staff of 10/27/05
 - c. Landscaping, including quantity, size, exterior fire places, and location of materials shall be installed to be consistent with the conceptual landscape plan submitted by MBB Designs, LLC with a date provided on the plans by City Staff of 10/25/05
 - d. The Ramada's, walls, fences, and pedestrian bridge architectural elements, including dimensions, shall be constructed to be consistent with the building elevations submitted by MBB Designs, LLC with a date provided on the plans by City Staff of 10/25/05

ARCHITECTURAL DESIGN:

DRB Stipulations

2. The face of the service entrance section(s) shall be flush with the building façade and painted to match the building.
3. All exterior mechanical, utility, and communications equipment shall be screened by parapet or wall that matches the architectural color and finish of the building. Wall or parapet height for roof-mounted units shall meet or exceed the height of the tallest unit. Wall height for ground-mounted units shall be a minimum of 1 foot higher than the tallest unit.
4. All exterior conduit and raceways shall be painted to match the building.
5. No exterior roof ladders shall be allowed where they are visible to the public or from an off-site location.
6. Roof drainage systems shall be interior, except that overflow scuppers are permitted. If overflow scuppers are provided, they shall be integrated with the architectural design.
7. Wall enclosures for refuse bins or trash compactors shall be constructed of materials that are compatible with the building(s) on the site in terms of color and texture.
8. Dooley wall fencing shall not be allowed.
9. The Ramada, walls, fences, and pedestrian bridge architectural elements shall match the architectural color, materials and finish of the building(s).

ATTACHMENT B

Ordinance

- A. *The developer shall revised the building height of the elevations to comply with Zoning Ordinance and Case 76-ZN-85#3 as indicated on the site plan submitted by VVG Architecture and Planning with a date provided on the plans by City Staff of 10/27/05*

SITE DESIGN:**Ordinance**

- B. *The max height allowed with in 300 feet of a R1- (single family) district shall be measured in accordance with the zoning case 76-ZN-85#3*
- C. *The trash enclosure shall be relocated out of the front set back adjacent the north property line.*
- D. *Exterior water features shall comply with the City of Scottsdale's Revised City Code, and receive the approval of the Water Resource Department.*

PRIVATE OPEN SPACE:**Ordinance**

- E. *With the final Construction Document submittal, the applicant shall provide floor plan work sheet for each building that clearly identify the square footage and width of each balcony/patio area separately.*

LANDSCAPE DESIGN:**DRB Stipulations**

10. Upon removal of the salvageable native plants the salvage contractor shall submit completed Native Plant Tracking Form as well as a list identifying the tag numbers of the plants surviving salvage operations to the City's Inspection Services Unit within 3 months from the beginning of salvage operations and/or prior to the issuance of the Certificate of Occupancy.
11. Cut and fill slopes shall be rounded to blend with the existing contours of the adjacent natural grades.

Ordinance

- F. *The maximum water intensive plant material (any plant not on the ADWR-PHX Plant List) shall not exceed the maximum allowable area as determined by the City of Scottsdale's Revised City Code.*

EXTERIOR LIGHTING DESIGN:**DRB Stipulations**

12. All exterior luminaries, accept balcony lighting shall meet all IESNA requirements for full cutoff, and shall be aimed downward and away from property line except for sign and parking lot canopy lighting.
13. Balconies lighting may utilize fixtures that allow light to project upward and downward. Balcony light fixtures shall not allow light to project out the side of the fixture.
14. Balcony lighting shall utilize incandescent or compact florescent lamp sources.
15. The individual luminaire lamp shall not exceed 250 watts.
16. The maximum height from finished grade to the bottom of any exterior luminaire utilized for site lighting shall not exceed 16 feet except for exterior site lighting adjacent to the east property line
17. The maximum height from finished graded to the bottom of the any exterior luminaire utilized for site lighting adjacent to the east property line shall not exceed 20 feet.
18. All exterior light poles, pole fixtures, and yokes, including bollards shall be a flat black or dark bronze.
19. Incorporate into the project's design, the following:
Parking Lot and Site Lighting:

- a. The maintained average horizontal illuminance level, at grade on the site not within the 300 foot area measured east and south from the west and north property, line shall not exceed 1.5 foot-candles.
- b. The maintained average horizontal illuminance level, at grade on the site outside of the area within 300 feet measured east and south from the west and north property line shall not exceed 2.0 foot-candles.
- c. The maintained maximum horizontal illuminance level, at grade on the site not within the 300-foot area measured east and south from the west and north property line shall not exceed 6.0 foot-candles. All exterior luminaires shall be included in this calculation.
- d. The maintained maximum horizontal illuminance level, at grade on the site with outside of the area within 300 feet measured east and south from the west and north property line shall not exceed 8.0 foot-candles. All exterior luminaires shall be included in this calculation.
- e. The initial vertical illuminance at 6.0 foot above grade, along the west and north property line (or 1 foot outside of any block wall exceeding 5 foot in height) shall not exceed 0.3 foot-candles. All exterior luminaires shall be included in this calculation.
- f. The initial vertical illuminance at 6.0 foot above grade, along the east and south property line (or 1 foot outside of any block wall exceeding 5 foot in height) shall not exceed 1.5 foot-candles. All exterior luminaires shall be included in this calculation.

Building Mounted Lighting:

- g. All luminaires shall be recessed or shielded so the light source is not directly visible from property line.
- h. Wall mounted HID source luminaires shall contain house side shields, and be mounted on a minimum 4-inch long bracket that is mounted perpendicular to the wall.

Landscape Lighting

- i. All landscape lighting directed upward shall utilize the extension visor shields to limit the view of the lamp source.
- j. Landscaping lighting shall only be utilized to accent plant material.
- k. All landscape lighting directed upward, shall be aimed away from property line.
- l. All landscape lighting hanging in vegetation, shall contain recessed lamps, and be directed downward and away from property line. (Add only if proposed)
- m. The landscape lighting lamp shall be an incandescent or halogen incandescent source, and shall not exceed 50 watts.

VEHICULAR AND BICYCLE PARKING:

DRB Stipulations

- 20. Bike rack design shall be in conformance with City of Scottsdale M.A.G. Details unless otherwise approved in writing by the City of Scottsdale's Transportation Department.

Ordinance

- G. *All required accessible parking shall be provide in the parking garage. The applicant shall demonstrate that the parking garage meets the minimum height requirements for van accessible parking in accordance with AZ ADAAG.*

ADDITIONAL PLANNING ITEMS:

DRB Stipulations

- 21. No exterior vending or display shall be allowed.

22. Flagpoles, if provided, shall be one piece, conical, and tapered.

23. Patio umbrellas shall be solid colors and shall not have any advertising in the form of signage or logos.

RELEVANT CASES:

Ordinance

H. At the time of review, the applicable zoning, etc. case(s) for the subject site were: 76-ZN-85#3

ENGINEERING

The following stipulations are provided to aid the developer in submittal requirements, and are not intended to be all inclusive of project requirements. The developer shall submit engineering design reports and plans that demonstrate compliance with city ordinances, the Scottsdale Revised Code and the Design Standards and Policies Manual.

APPLICABLE DOCUMENTS AND PLANS:

24. Preliminary Grading and Drainage Plans entitled, Preliminary Grading and Drainage Plans for Portales Place, submitted by DEI Professional Services. And dated 09/12/05 by City staff
25. Water and Sewer Design Reports entitled, Portales Basis of Design Report for water and Portales Basis of Design Report for Sanitary Sewer, submitted by DEI Professional Services. And dated 09/12/05 by City staff.

CIVIL IMPROVEMENT PLAN REQUIREMENTS:

DRAINAGE AND FLOOD CONTROL:

DRB Stipulations

26. A final drainage report shall be submitted that demonstrates consistency with the conceptual drainage report approved in concept by the Planning and Development Services Department.
 - a. Before the approval of improvement plans by city staff, the developer shall submit two (2) hard copies and one (1) compact disc copy of the complete final drainage report and plan.
27. Demonstrate consistency with the approved master drainage plan and report entitled Scottsdale Portales Master Drainage Report, prepared by DMJM Arizona, Inc., dated April 13, 1999, accepted by city staff April 26, 1999, and the preliminary drainage report and plan entitled 5000 Portales Place, prepared by DEI Professional Service, L.L.C., dated June 29, 2000, accepted by city staff on June 30, 2000.
 - a. Any design that modifies the approved master drainage report requires from the developer a site-specific addendum to the final drainage report and plan, subject to review and approval by the city staff.
 - b. Addendum generated by the final drainage analysis for this site shall be added to the appendix of the final drainage report.
28. Drainage storm pipes with in R/W shall be 18" min.
29. Need to Justify the C Coefficient used in the Drainage Report for the required on site retention volume. (Soil Type and type of Landscaping)
30. Basin Configuration:
 1. Drainage storm pipes with in R/W shall be 18" min.

Need to Justify the C Coefficient used in the Drainage Report for the required on site retention volume. (Soil Type and type of Landscaping)

 - a. Basin side slopes shall not be steeper than 4:1, and basin depths shall not exceed 3 feet.
 - b. A maximum of 50% of the front open space may be used as a retention/detention basin unless approved by the Project Coordination Manager
 - c. Stormwater Storage on Paved Surfaces. Up to 50% of required stormwater storage may be provided in parking areas when the following conditions are met:
 - d. Storage system shall be designed to store first 30% of required runoff volume off paved areas (to avoid ponding of nuisance water on pavement).

- e. Parking lot storage areas shall be designed so as to minimize interference with pedestrian traffic. Depth of water shall not exceed six inches within the parking area.

Ordinance

- I. On-site stormwater storage is required for the full 100-year, 2-hour storm event. The design of the storage basin capacity shall account for any proposed landscaping improvements. The landscaping improvements within the basins shall not reduce the capacity of the basins under the required volume.
- (1) Basin bleed-off rates shall be set so that the storage basins do not drain completely in less than 24 hours. Storage basins must drain completely within 36 hours.
 - (2) Infiltration of stormwater through the basin floor is not acceptable as the sole means of draining the basin. Stormwater storage basins should be designed to meter flow to the historic out-fall point. Where an historic out-fall point does not exist (or metering is not possible), other methods of discharge such as pumps, etc. may be considered.
 - (3) Stormwater storage basins may not be constructed within utility easements or dedicated right-of-way (exceptions may be granted with written approval from appropriate utility company).
 - (4) Off-site runoff must enter and exit the site as it did historically.
 - (5) All development shall be designed to satisfactorily convey the 100-year peak discharge through the site without significant damage to structures.
- J. With the final improvement plans submittal to the Plan Review and Permit Services Division, the developer shall submit a final drainage report, subject to City staff approval.
- K. Underground Stormwater Storage:
- (1) Underground stormwater storage is prohibited unless approval is obtained from the City's Floodplain Administrator.
 - (2) Drywells are not permitted.
- L. Street Crossings:
- (1) Watercourse crossings for roads shall be designed to provide for 100-year access to all lots by at least one route. Accessibility will be considered to exist if it can be shown by the engineer that at the time of the peak flow, the depth of flow over the road will not be greater than 1 foot.

ROADWAY, INTERSECTION, AND ACCESS DESIGN:

Streets and other related improvements:

STREET NAME	STREET TYPE	R.O.W. DEDICATION	ROADWAY IMPROVEMENT	CURB TYPE	BIKE PATH, SIDEWALK, TRAILS
Chaparral Road	Major Collector	Existing	** (see note below)		5' min. sidewalk

**** Note:**

Developer need to provide in-lieu payment for previously approved traffic calming on Chaparral per agreement/zoning stip.

Other dedications:

31. Right-of way: Right-of-way shall be dedicated as necessary to contain the traffic circle on Chaparral Road at 70th Place.

32. Easements: Public access easements shall be dedicated as necessary to contain any sidewalk along Chaparral Road and Goldwater Boulevard that extends outside of the public right-of-way, and over and across the site for pedestrian connections throughout the PBD.
33. Prior to the issuance of any building permit, encroachment permit, or horizontal paving permit, the developer shall design a vehicular access to Chaparral Road to the satisfaction of the City of Scottsdale's Transportation Department. This design shall incorporate a round about traffic circle on Chaparral Road. The City of Scottsdale will construct roundabout with the Chaparral Road Traffic Calming project.
 - Provide documentation that the developer has access to main drive from Chaparral from property owner.
 - Extend sidewalk along west side of roundabout into site.
 - The developer/owner shall dedicate an easement for trolley stop on site. The location of Trolley Stop shall be coordinate with the Transportation Planning, Transit Division.
 - The developer shall construct a pedestrian accessible path (concrete sidewalk) connection through the site from Chaparral Road south, under the Goldwater Boulevard overpass, to the south side of Goldwater Boulevard.

DRB Stipulations

34. If a gated entrance is proposed, the developer shall design and construct the gated entrance in conformance to Figure 8.1-1 of the City's Design Standards and Policies Manual.
35. The internal streets shall be private. The private street tracts shall be dedicated to provide emergency and service vehicle access and public utility construction and maintenance.
36. Security gates shall be located a minimum distance of 75 feet from the adjacent street curb line, as shown on the site plan. An automobile turn-around shall be provided between the gate and the street: minimum width of 50 feet.
37. One-way ingress and egress lanes shall be a minimum clear width of 16 feet.
38. Pedestrian access shall be provided around all gated vehicular entrances.
39. The developer shall construct a right-turn deceleration lane on Goldwater Boulevard at the site entrance in conformance with city standards.
40. The site driveway on Goldwater Boulevard shall be designed in general conformance with city of Scottsdale Type CH-1, Standard Detail #2257. The driveway shall be modified to accommodate the raised median.
41. Access to Chaparral shall be located at the existing traffic circle at 70th Place. The egress from the site driveway shall be designed to encourage travel to the east as shown on the submitted site plan.
42. Access from the adjacent office development to Chaparral shall be restricted by use of gates.

Ordinance

- M. The developer shall submit a detailed striping and signage plan with final plans. The striping and signage plan shall include all existing improvements and striping within 300 feet of the limits of construction, and all signs, striping, or other traffic control devices proposed to accommodate phased and ultimate construction.

TRAFFIC SIGNALS:

DRB Stipulations

43. Poles and equipment necessary to upgrade the signal to current standards (including luminaires).

Ordinance

- N. Public street lights shall be installed in accordance with City of Scottsdale Revised Code, Section 48-149 on Chaparral Road. The developer shall be responsible for coordinating a street layout and cost estimate with the utility company. Building permits may not be issued until all street light arrangements (including fee requirements) have been made.

INTERNAL CIRCULATION:

44. The access driveways for the Casitas units shall be a minimum width of 24 feet excluding curb and gutter. The cul-de-sacs on these roads shall be designed to accommodate emergency vehicles with a minimum outside turning radius of 40 feet and inside radius of 15 feet.
45. The minimum parking and access aisle width in the parking structures shall be a minimum width of 24 feet.
46. A minimum 24-foot wide emergency and service vehicle access easement shall be dedicated over the Casita access driveways.
47. The developer shall provide internal circulation that accommodates emergency and service vehicles with an outside turning radius of 45 feet and inside turning radius of 25 feet.

OTHER:

48. The developer shall be responsible for constructing traffic calming devices on Chaparral Road per the previously approved improvement plan. At the direction of City Transportation Department staff, an in-lieu payment for the cost of this construction shall be paid to the City rather than constructing the improvements. The payment shall be made at the time of building permit issuance for the first shell permit of the first building or for the first structural permit for the first structure above grade, whichever comes first.
49. Prior to any final plan submittal, the developer shall submit a Pedestrian Circulation Plan to Community Development staff for review and approval.
50. Pedestrian paths shall be provided to connect each site building to the common recreation area.

DRB Stipulations

51. The developer shall provide a minimum parking-aisle width of 24 feet.
52. The developer shall provide internal circulation that accommodates emergency and service vehicles with an outside turning radius of 45 feet and inside turning radius of 25 feet.
53. The developer shall design the dead-end parking aisle in general conformance with the included detail.

Ordinance

- O. Parking areas shall be improved with a minimum of 2.5 inches of asphalt over 4 inches of aggregate base.

EASEMENTS AND DEDICATIONS

EASEMENT / DEDICATION	DESCRIPTION
Multi-use Public Path Esmt.	Need to provide a Multi-use Public Path Esmt. over the required sidewalk from Chaparral Road to Goldwater Boulevard.
20' Water & Sewer Esmt.	Need to provide a 20' Water and Sewer Esmt. to over the proposed water and sewer lines.
Drainage Esmt.	Need to provide Drainage Esmt. Over the proposed Retention or Detention Basins

DRB Stipulations

54. All dedications to City of Scottsdale shall be made on a Map of Dedication.
55. Sight distance easements shall be dedicated over sight distance triangles.

- a. Sight distance triangles must be shown on final plans to be clear of landscaping, signs, or other visibility obstructions between 2 feet and 7 feet in height.
- b. Refer to the following figures: 3.1-13 and 3.1-14 of Section 3.1 of the City's Design Standards and Policies Manual, published December 1999.

56. Vehicular Non-Access Easement:

- a. Prior to final plan approval, the developer shall dedicate a 1-foot wide vehicular non-access easement along the property frontage on Chaparral Road and Goldwater Blvd. Except at the approved driveway location.

57. Well Site Dedication:

- a. Unless otherwise agreed to in writing by the Asset Management Coordinator, each tract or lot dedicated to the City shall be: (1) conveyed by a general warranty deed, and (2) accompanied by a title policy in favor of the City, both to the satisfaction of city staff as designated by the Asset Management Coordinator.

58. Indemnity Agreements:

- a. When substantial improvements or landscaping are proposed within a utility easement, an indemnity agreement shall be required. The agreement shall acknowledge the right of the City to access the easement as necessary for service or emergencies without responsibility for the replacement or repair of any improvements or landscaping within the easement.

Ordinance

P. Drainage Easement:

- (1) Drainage and flood control easements shall be dedicated to the City to the limits of inundation for all vista corridor washes, for all washes having a discharge rate of 25 cfs or more, for all FEMA regulatory floodways to the extent of the 100-year base flood elevation, and for all stormwater storage basins. All drainage and flood control easements shall be dedicated to the City with maintenance responsibility specified to be that of the property owner.

Q. Waterline and Sanitary Sewer Easements:

- (1) Before the issuance of any building permit for the site, the developer shall dedicate to the City, in conformance with the Scottsdale Revised Code and the Design Standards and Policies Manual, all water easements necessary to serve the site.

R. Public Utility Easement:

- (1) An 8-foot wide public utility easement shall be dedicated along both sides of internal streets. The 8-foot wide easements may be reduced or eliminated upon approval of the public utility companies.

REFUSE:

DRB Stipulations

59. Refuse enclosures (including the Trash Compactor enclosure) design shall receive the approval of the Municipal Services Department's Solid Waste Management Division's Service Coordinator prior to the 1st submittal of the improvement plans.

60. Enclosures must:

- a. Provide adequate truck turning/backing movements for a design vehicle of turning radius R (minimum) = 45 feet vehicle length of L = 40 feet.
- b. Be positioned to facilitate collection without "backtracking."
- c. Be easily accessible by a simple route.
- d. Not require backing more than 35 feet.

- e. Not be located on dead-end parking aisles.
- f. Enclosures serviced on one side of a drive must be positioned at a 30-degree angle to the centerline of the drive.

Ordinance

S. Refuse enclosures are required as follows:

- (1) Restaurants: One per restaurant
- (2) Commercial Building Space: One for 0 to 20,000 s.f., Two for 20,001 to 40,000 s.f., Three for 40,001 to 60,000 s.f., etc.
- (3) Apartments: One for 0 to 20 units, Two for 21 to 40 units, Three for 41 to 60 units, etc.

T. Underground vault-type containers are not allowed.

U. Refuse collection methods, i.e., site plan circulation will be approved at final plan review.

V. Refuse collection can be provided by the City of Scottsdale's Sanitation Division, at 480-312-5600.

WATER AND WASTEWATER STIPULATIONS

The following stipulations are provided to aid the developer in submittal requirements, and are not intended to be all-inclusive of project requirements. Water and sewer lines and services shall be in compliance with City Engineering Water and Sewer Ordinance, the Scottsdale Revised Code and Sections 4 and 5 of the Design Standards and Policies Manual.

DRB Stipulations

- 61. Before the improvement plan submittal to the Plan Review and Permit Services Division, the developer shall obtain approval of the master water and wastewater reports. The improvement plans shall be consistent with the approved master water and wastewater reports. Any design that modifies the approved master report requires from the developer a site-specific addendum to the master report, subject to review and approval by City staff.
- 62. Where walls cross or run parallel with public water mains, public sewer mains, or public fire lines the following shall apply:
 - a. For walls constructed parallel to these pipes, the walls shall be a minimum of six (6) feet from the outside diameter of the pipe.
 - b. For walls constructed across or perpendicular to these pipes, the walls shall be constructed with gates or removable wall panels for maintenance and emergency access.
 - The 12-inch water line in Chaparral is owned by Paradise Valley and cannot be used for connection to this project.
 - Need to provide a looped water line with 2 sources.
 - City is planning a new sewer line along Chaparral between 68th St. and Scottsdale Rd. Future sewer service north of Chaparral will be into this Chaparral line.
 - Onsite sewer will be privately owned and maintained.

WATER:

DRB Stipulations

63. Basis of Design Report (Water):

- a. Before the improvement plan submittal to the Plan Review and Permit Services Division, the developer shall obtain approval of the Water Basis of Design Report from the City's Water Resources Department. The report shall conform to the draft Water and Wastewater Report Guidelines available from the City's Water Resources Department.

- The 12-inch water line in Chaparral is owned by Paradise Valley and cannot be used for connection to this project.
- Need to provide a looped water line with 2 sources.

Ordinance

W. The water system for this project shall meet required health standards and shall have sufficient volume and pressure for domestic use and fire protection.

WASTEWATER:

DRB Stipulations

64. Wastewater Basis of Design Report. Before the improvement plan submittal to the Plan Review and Permit Services Division, the developer shall obtain approval of the Wastewater Basis of Design Report from the City's Water Resources Department. The report shall conform to the draft Water and Wastewater Report Guidelines available from the City's Water Resources Department.

- Onsite sewer will be privately owned and maintained

65. Existing water and sewer service lines to this site shall be utilized or shall be abandoned by disconnection at the main.

Ordinance

LOCATION & CLEARANCE:

X. Privately owned sanitary sewer shall not run parallel within the waterline easement.

BRIDGES:

DRB Stipulations

66. Bridges:

- All drainage crossings, including any configuration of box culverts or pipes that span 20 feet or more (as measured along the roadway centerline) shall be subject to review and approval by City staff.
- With the improvement plan submittal to the Plan Review and Permit Services Division, the developer shall submit two (2) separate copies of the improvement plans, subject to City staff approval, for structural review.

CONSTRUCTION REQUIREMENTS

DRB Stipulations

As-Built Plans.

67. City staff may at any time request the developer to submit as-built plans to the Inspection Services Division.

- As-built plans shall be certified in writing by a registered professional civil engineer, using as-built data from a registered land surveyor.
- As-built plans for drainage facilities and structures shall include, but are not limited to, streets, lot grading, storm drain pipe, valley gutters, curb and gutter, flood walls, culverts, inlet and outlet structures, dams, berms, lined and unlined open channels, storm water storage basins, underground storm water storage tanks, and bridges as determined by city staff.

Ordinance

Y. Section 404 permits. With the improvement plan submittal to the Plan Review and Permit Services Division, the developer's engineer must certify that it complies with, or is exempt from, Section 404 of the

Clean Water Act of the United States. [Section 404 regulates the discharge of dredged or fill material into a wetland, lake, (including dry lakes), river, stream (including intermittent streams, ephemeral washes, and arroyos), or other waters of the United States.]